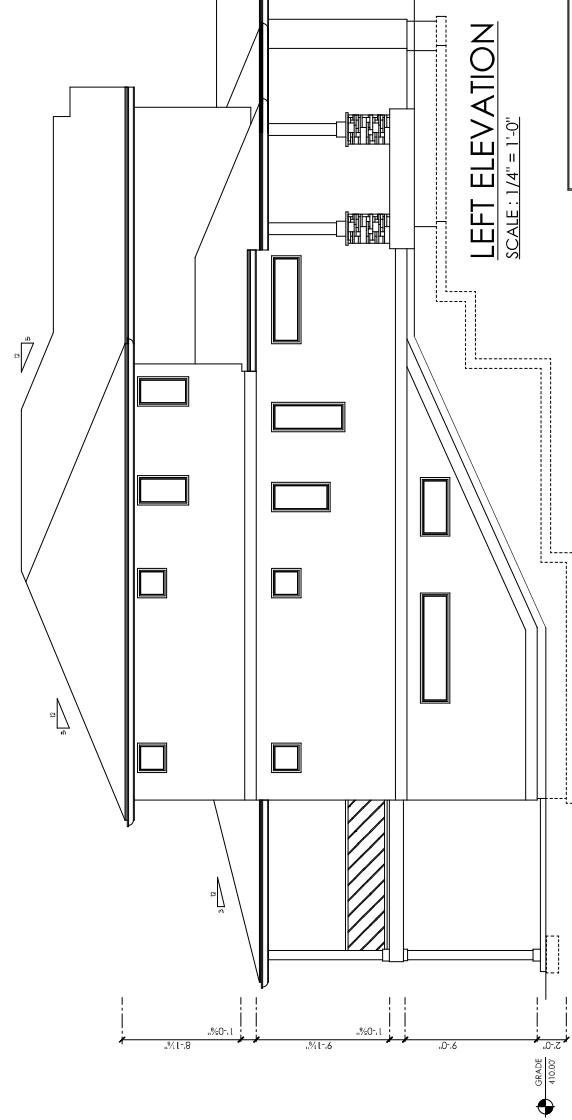
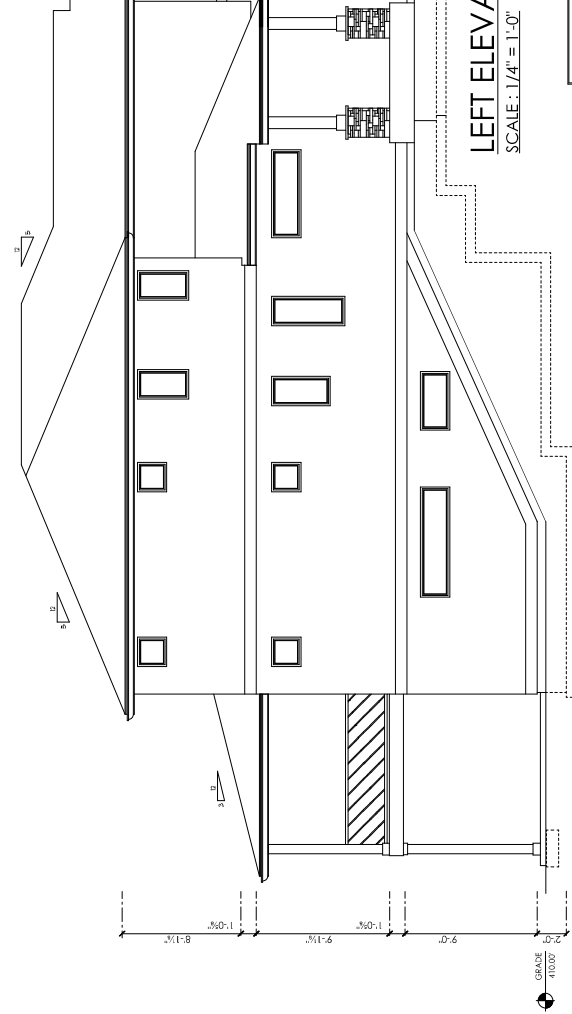


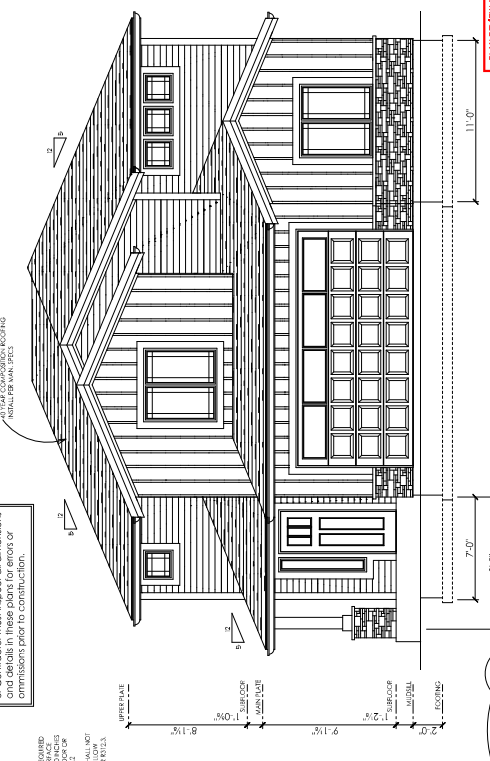
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

LIMIT OF LIABILITY NOTICE: These plans represent specific site conditions and the responsibility of the Owner and/or Contractor. The Designer shall not be responsible for any damages resulting from the use of these plans. The Owner and/or Contractor shall verify all dimensions and details in these plans for errors or omissions prior to construction.

EXTERIOR GENERAL NOTES:
1. METAL FLASHING SHALL HAVE PROPER OVERLAP.
2. METAL FLASHING SHALL BE WRAPPED WITH ONE LAYER OF WATERPROOFING.
3. METAL FLASHING SHALL BE WRAPPED WITH ONE LAYER OF WATERPROOFING.
4. METAL FLASHING SHALL BE WRAPPED WITH ONE LAYER OF WATERPROOFING.
5. METAL FLASHING SHALL BE WRAPPED WITH ONE LAYER OF WATERPROOFING.
6. METAL FLASHING SHALL BE WRAPPED WITH ONE LAYER OF WATERPROOFING.
7. METAL FLASHING SHALL BE WRAPPED WITH ONE LAYER OF WATERPROOFING.
8. METAL FLASHING SHALL BE WRAPPED WITH ONE LAYER OF WATERPROOFING.
9. METAL FLASHING SHALL BE WRAPPED WITH ONE LAYER OF WATERPROOFING.
10. METAL FLASHING SHALL BE WRAPPED WITH ONE LAYER OF WATERPROOFING.

IF HIGH RAINING OR COVER IS REQUIRED WITH THIS FLASHING IT SHALL BE LOCATED 30 INCHES ABOVE THE FINISHED GRADE BELOW THE FLASHING.
FLASHING SHALL NOT BE LOCATED IN A POSITION OF A 1/4" GAP PER R.O.S.A.

TRANSPARENCY REQUIREMENT:
TOTAL FRONT ELEVATION AREA: 604.53 SQ. FT.
TOTAL TRANSPARENCY PROVIDED: 48.53 SQ. FT.

ADDRESS NUMBERS, BUILDING ADDRESS NUMBERS, BUILDING NUMBERS OR VISUAL ADDRESS NUMBERS SHALL BE PERMANENTLY AFFIXED TO THE PROPERTY. THESE NUMBERS SHALL BE IN CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS. ADDRESS NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH. R19.1.

LIMIT OF LIABILITY NOTICE
 A copy of these plans to meet specific State, local codes, regulations and ordinances shall be the responsibility of the Owner and/or Contractor. Zetterberg Gregory Design LLC, its owners shall not be responsible for any damages or claims resulting from the use of these plans. The Owner and/or Contractor must inspect all dimensions and details in these plans, for errors or omissions prior to construction.



ZETTERBERG GREGORY
 3902 223RD AVE N
 SUITE 100
 ZETTERBERG GREGORY CO.
 10000 14TH AVENUE S.W.
 SUITE 100
 BELLEVUE, WA 98005
 PH: 206.393.8800
 WWW.ZGDESIGN.COM

PROJECT NO. 22-304

DATE: MAY 18, 2022

CLIENT: ZETTERBERG GREGORY
 4962 AMHERST WAY SW
 PORT ORCHARD, WA 98367

SITE: AMHERST LOT 47 - WESTBURN
 4962 AMHERST WAY SW
 PORT ORCHARD, WA 98367

REVISIONS:
 MAY 18, 2022
 1. PERMIT CENTER
 2. PERMIT CENTER
 3. PERMIT CENTER

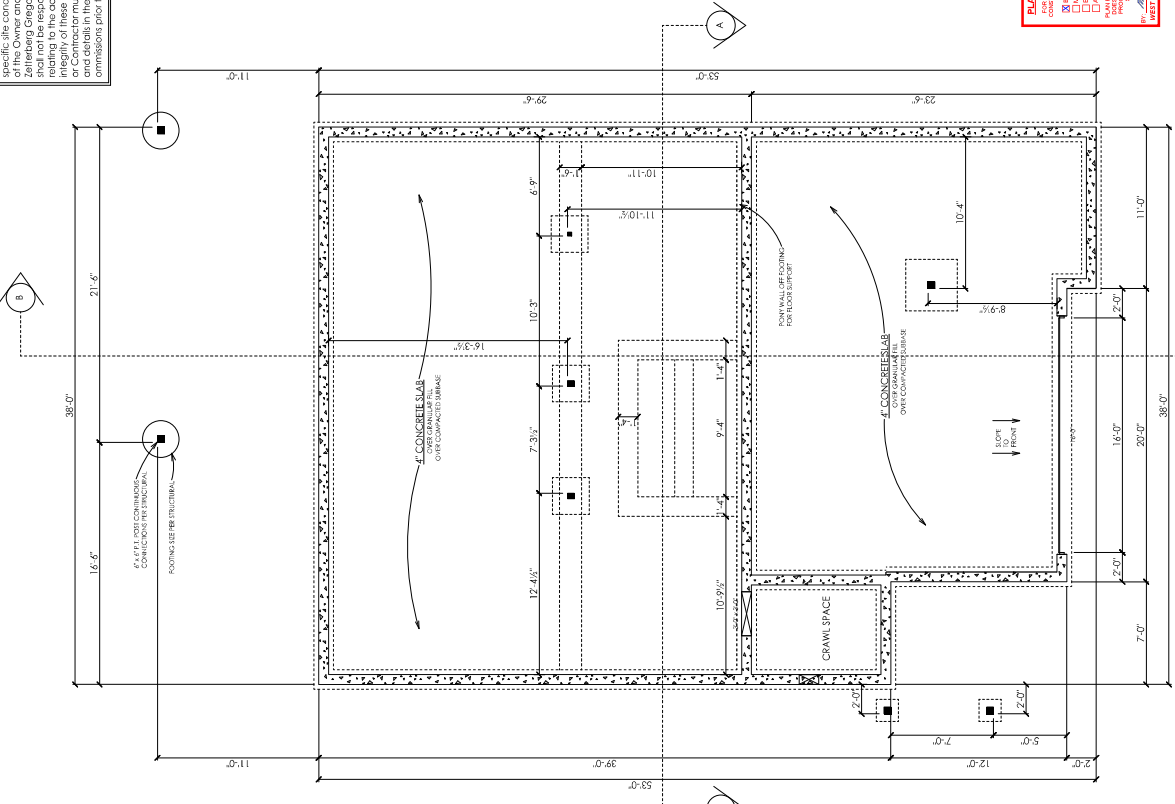
ZETTERBERG CUSTOM
 HOMES & REMODELING LLC

CLIENT:

DRAWN: S. J. 1/20
 REVISED: S. J. 1/22

SHEET #
A3
 FOUND. / BASEMENT

22-304



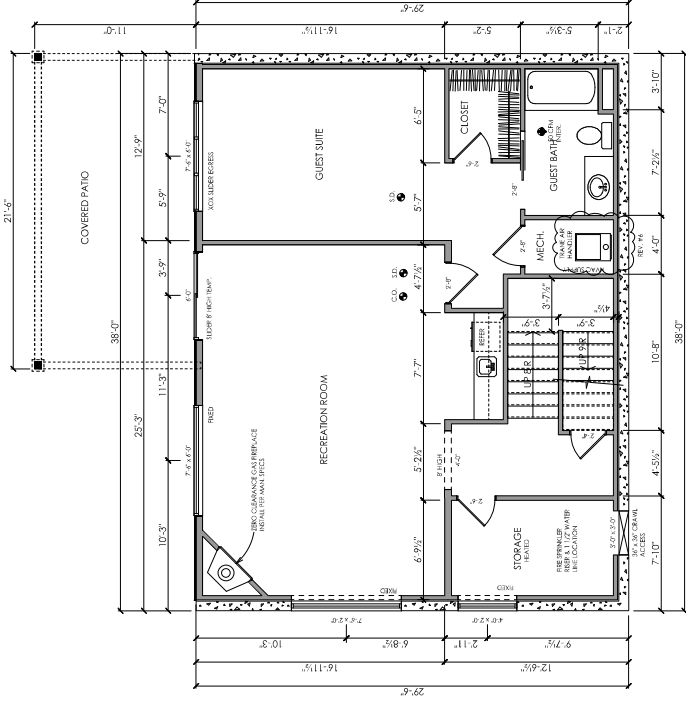
PLAN REVIEW ACKNOWLEDGEMENT

Building Code
 Fire Department
 Electrical
 Mechanical
 Plumbing
 Energy
 Accessibility
 Fire Safety

FOR THE PROJECT AND FOR THE CODES AND REGULATIONS APPLICABLE TO THIS PROJECT, THE REVIEWING AGENCIES HAVE REVIEWED THESE PLANS AND FOUND THEM TO BE IN COMPLIANCE WITH THE APPLICABLE CODES AND REGULATIONS.

WEST COAST CODE CONSULTANTS, INC.

FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



BASEMENT PLAN
 SCALE: 1/4" = 1'-0"

FOUNDATION VENTILATION
 REQUIREMENT PER IRC 408.1
 1 SQ.FT. VENT PER EVERY 150 SQ.FT. AREA
 6" x 18" SCREENED FOUNDATION
 VENTS = 47 SQ.FT. / 1.49 VENTS = 1 SQ.FT.
 66.5 / 150 = 0.44 SQ.FT. VENTILATION REQUIRED
 0.44 x 1.49 = 0.66
 PROVIDE (1) 6" x 18" VENTS

BUILDING PLANNING NOTES

1. ALL INTERIOR AND EXTERIOR DIMENSIONS SHALL BE PROVIDED UNLESS OTHERWISE NOTED.

2. FINISH FLOOR FINISH SHALL BE AS SHOWN ON THESE PLANS.

3. FINISH FLOOR FINISH SHALL BE AS SHOWN ON THESE PLANS.

4. FINISH FLOOR FINISH SHALL BE AS SHOWN ON THESE PLANS.

1.00 = SHOWN DIRECTOR
 2.00 = CARBON MONOXIDE DETECTOR
 3.00 = SMOKE DETECTOR
 4.00 = FIRE ALARM